

claravale

HILBERT

Stage 3A									
CURRENT AT		6 May 2024							
Lot/Address	Size (m ²)	Frontage	Depth	Titles Due	Bal	Class/Footings	Status	Lot Price	R Code
Lot 93 Ningaloo Street	313m ²	12.5m	25m	Jul-24	LOW	S Class / CM1	On Hold	\$230,000	RMD 35



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**SOIL AND
FOOTINGS**
Refer to individual
reports



Colorbond
**FENCING
+ FRONT**
landscaping
package



**LAND
DEPOSITS**
OF \$1000
(negotiable)



SOAKWELLS
REQUIRED



38mins
to Perth CBD



10
schools and **7**
childcare centres
in the area



Major transport links
nearby including
Armadale Road,
Tonkin Highway,
Kwinana Freeway
& Armadale Station



Plenty of
dog parks,
playgrounds &
walking areas
nearby

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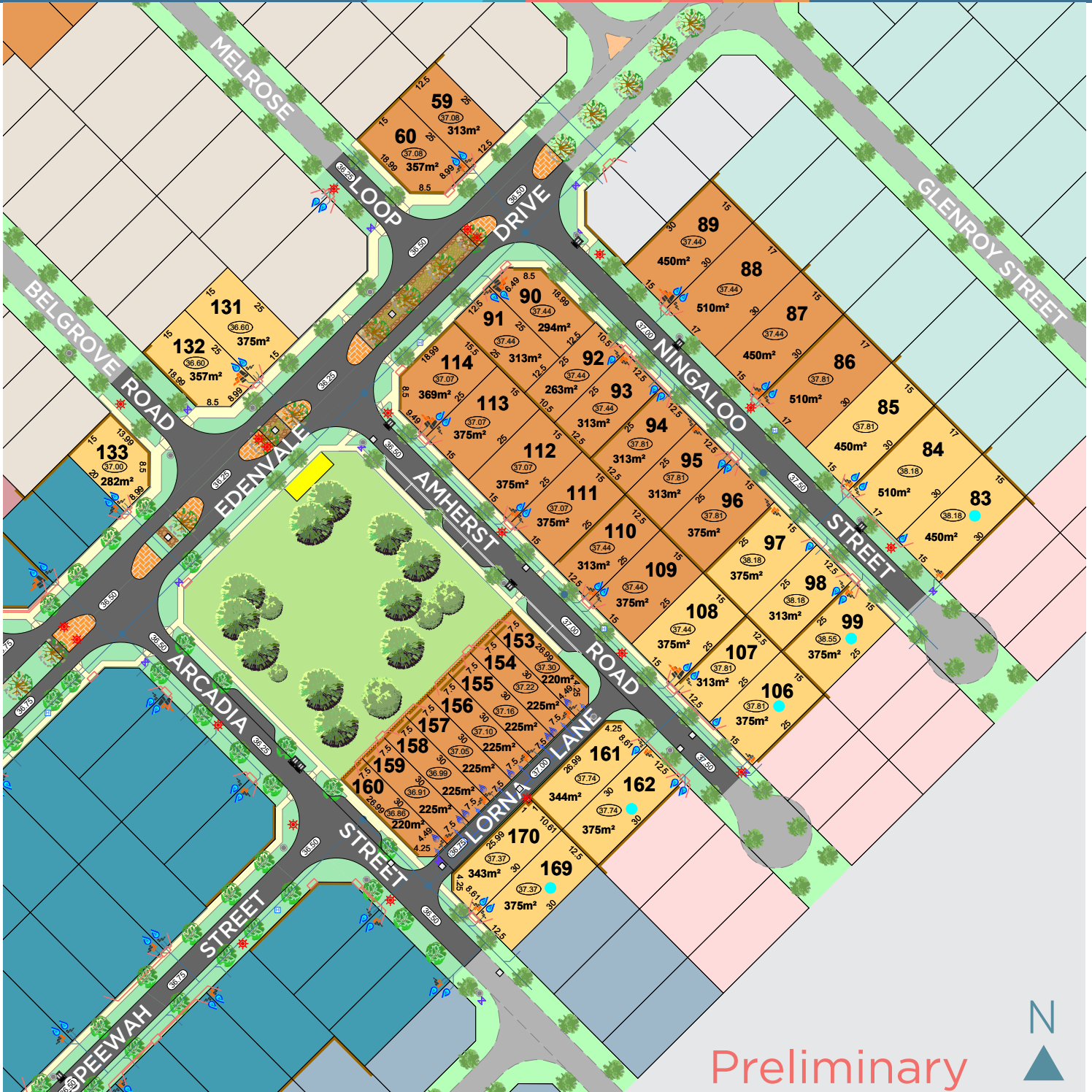
**DISCLAIMER - Site Class: The rating on class/footings in this Price List applies only if the Buyer is building a single-storey full masonry residential construction, based on AS2870 (2011), and gets their site classification report from Structerre Consulting Engineers. If the Buyer is constructing a different type of residence or uses a different consulting engineer for the report, the Seller is not responsible for the information. General: While we aim for information accuracy, it is not guaranteed by the selling agent. Prospective buyers are advised to verify all details and not view this as a contractual commitment. All measurements are subject to survey. Full retail prices are as shown. Promotional prices do not include incentives like land rebates or builder incentives. Rebates are specific to certain lots and are paid at settlement. Sales Agent: Parcel Realty Pty Ltd (ABN 66 153 825 542). Licence number: 64283.

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STAGE 3



Preliminary

LEGEND

- | | | | | | |
|--------------------------|---|---|------------------------------------|----------------------------------|-------------------------------|
| STAGE 3 Release 1 | Existing Road | Uni Pillar Power Dome and Connection | Combination Side Entry / Gully Pit | Sewer Housing Connection/Manhole | Water Hydrant |
| STAGE 3 Release 2 | Brick Paving | Mini Pillar Power Dome and Connection | Drainage Grate | Retaining Wall | Water Valve |
| Future Release | Future Road | Western Power Padmount Site & 129BA Restricted Covenant | Drainage Manhole | Cantilever Retaining Wall | Water Connection |
| Previous Release | Lots may be affected by 1m x 1m Road Widening for Street Light. | Street Light | Garage Location | Bushfire Attack Level | Below Ground Water Connection |
| | NBN Connection | | Footpath | BAL 12.5 | Lot Level |
| | | | | BAL 19 | Road Level |
| | | | | BAL 29 | |

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**TERMS AND CONDITIONS APPLY - Whilst every care has been taken with the preparation of these particulars, which are believed to be correct, they are in no way warranted by the selling agent or its clients in whole or in part and should not be construed as forming part of any contract. Any intending purchasers are advised to make necessary enquiries to satisfy themselves on all matters in this respect. All areas and dimensions are subject to survey. *Full retail prices are as advertised. The promotional advertised price excludes an incentive as noted as either a land rebate or builder incentive or other. Any rebate is only applicable on selected lots and is paid at settlement. Sales Agent: Parcel Realty Pty Ltd (ABN 66 153 825 542). Licence number: 64283. MNG. Ref: 98917sa-039f Date: 11/03/2024 ©Copyright

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